



15440 South Central Avenue, Oak Forest, Illinois 60452-2195
Ph: 708.444.4818 ▪ Fax 708.687.1179

RESIDENTIAL DRIVEWAY, APRON & SIDEWALK GUIDE

PERMIT PROCEDURE:

- Submit completed Building Permit Application
- Submit signed contract/proposal with detailed scope of work
- Complete Contractor Registration. All contractors must be registered with the City of Oak Forest prior to issuance of the permit.
- Submit copy of Plat of Survey indicating location and dimensions of driveway, apron & sidewalk.
- Submit Right of Way Release of Liability Form (if applicable)
- Submit Reimbursement for Public Sidewalk and Curb Cut Application (if applicable)

REQUIREMENTS:

- Only one driveway permitted per lot in single family zoning districts where front lot width is less than 90'. A circular drive is permitted for lots with 90' or greater front lot width.
- Driveway area may not exceed 30% of any required front yard
- Driveway must be a minimum 1' from side lot line
- Residences served by one-car and two-car garages allowed a maximum 20' width driveway AT THE PUBLIC SIDEWALK and 26' at street. Residences served by a three-car garage allowed a maximum 30' width at property line and 36' at street.
- Garages located greater than 30' from front property line and circular drives allowed a maximum 10' at property lines and 16' at street
- No Driveway/Apron shall encroach upon any portion of parkway of adjacent property
- No Dirt, Sand, Stone, or other Construction Material shall be deposited on City Streets, Walks or Parkways. Fines to \$750 Daily.

DRIVEWAY/APRON CONSTRUCTION REQUIREMENTS:

(See Residential Driveway Specification Supplement for an illustrated guide)

- Concrete Driveway
 - Minimum 4" stone aggregate base
 - Minimum 5" concrete or minimum 4" concrete with reinforcement
- Concrete Apron
 - Minimum 5" concrete – no wire mesh/rebar reinforcement allowed
- Asphalt Driveway/Apron
 - Minimum 8" stone aggregate base placed in 4" compacted lifts
 - Minimum 2½" asphalt surface course after compaction

- Brick Paver Driveway/Apron
 - Minimum 8" stone aggregate base placed in 4" compacted lifts
 - Minimum 1" bedding sand
 - Minimum 2 3/8th brick paving stone
 - Apron construction in other than plain concrete or plain asphalt is installed at owner's risk. Release of Liability form is required.

SIDEWALK CONSTRUCTION REQUIREMENTS:

- Private Sidewalk/Concrete
 - Minimum 4" stone aggregate base
 - Minimum 4" concrete
- Private Sidewalk/Brick Paver
 - Minimum 4" stone aggregate base
 - Minimum 1" bedding sand
 - Minimum 2 3/8th brick paving stone
- Public Sidewalk
 - Minimum 4" stone aggregate base
 - Minimum 5" concrete
 - Minimum 5' width
 - Placement shall be 1' from property line
 - Placement shall be separate from driveway and apron

INSPECTIONS REQUIRED:

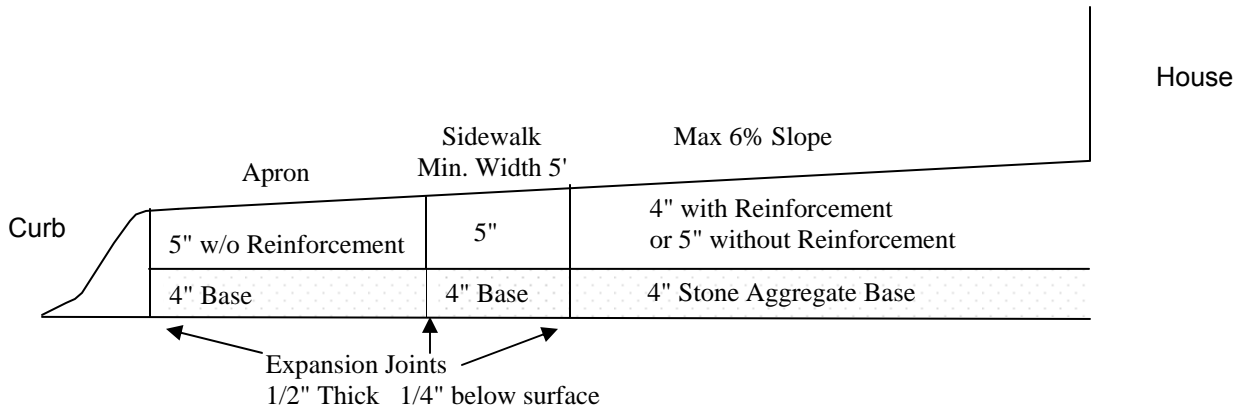
- Base Inspection
- Final Inspection

FEES:

- Permit: \$135.00
- Failed, missed and/or re-inspections: \$60.00

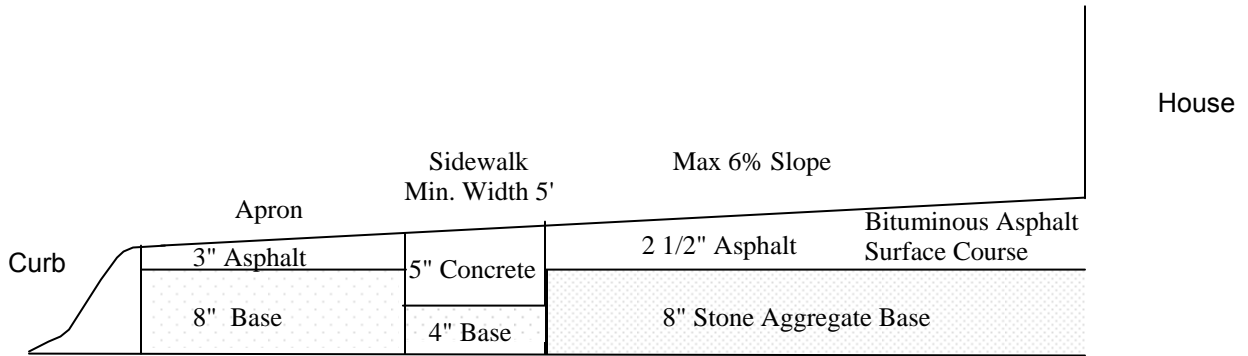
RESIDENTIAL DRIVEWAY GUIDE

CONCRETE



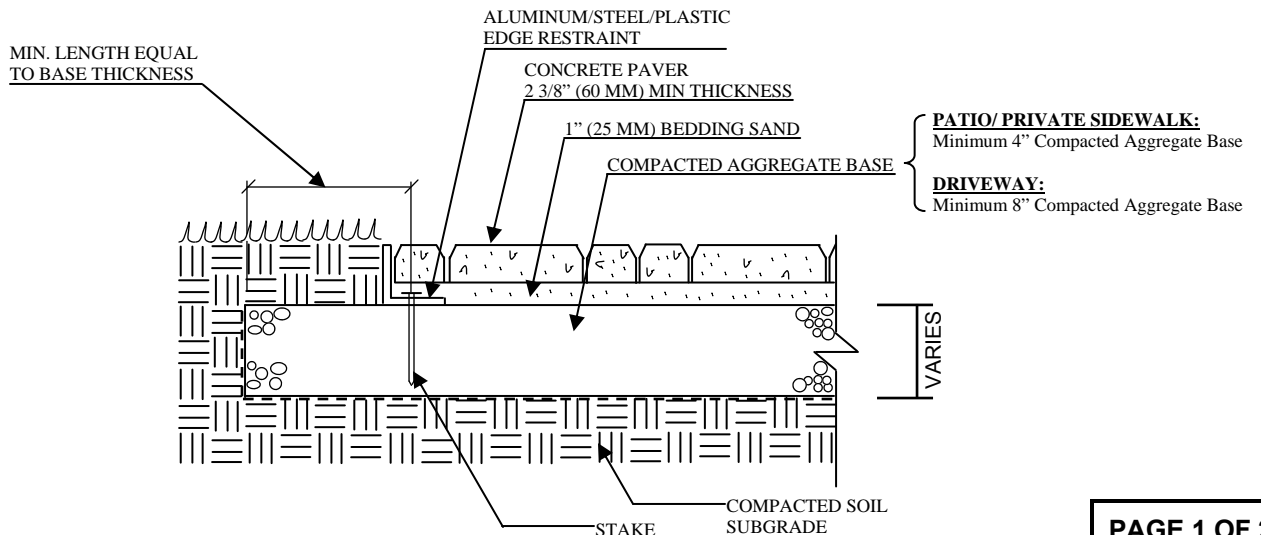
- ✓ No wire/ rebar reinforcement in apron or public sidewalk.
- ✓ To qualify for reimbursement on a curb cut or public sidewalk replacement, Public Works is required to approve prior to permit issuance.

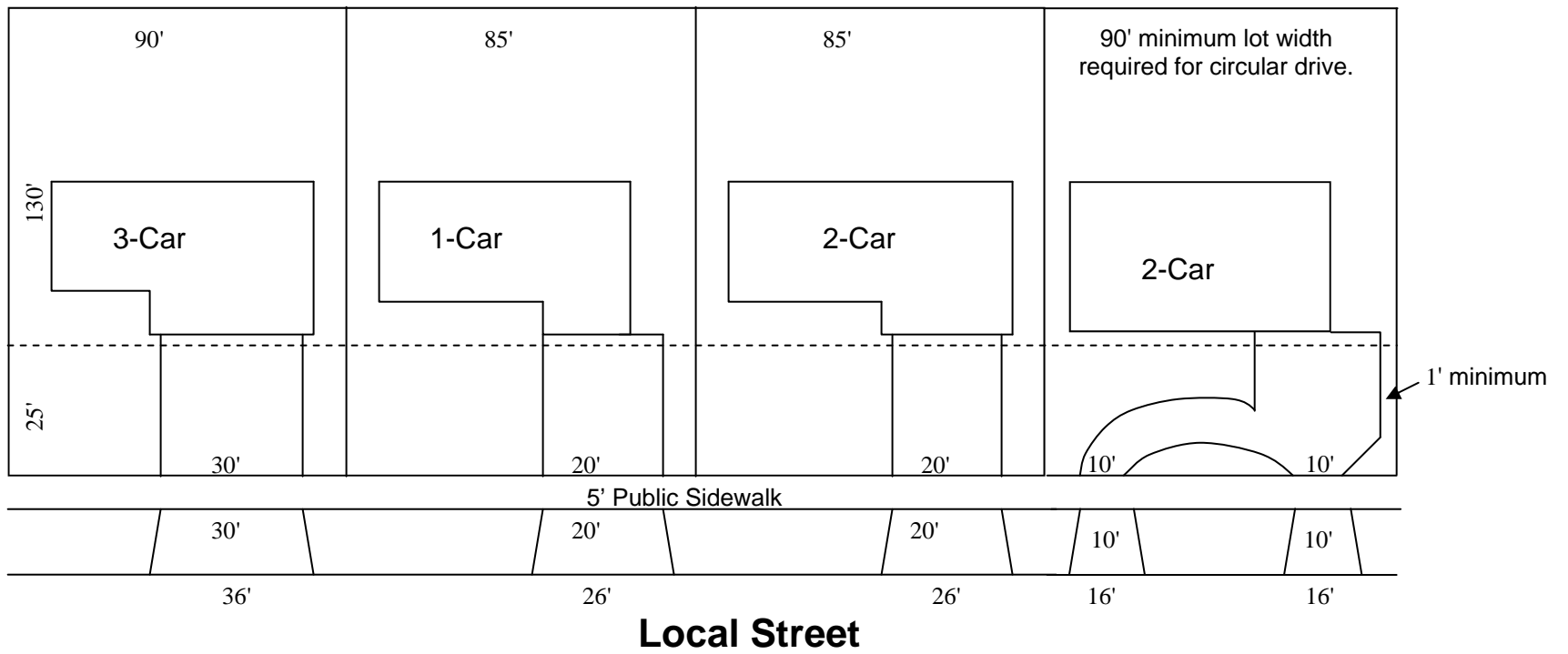
ASPHALT



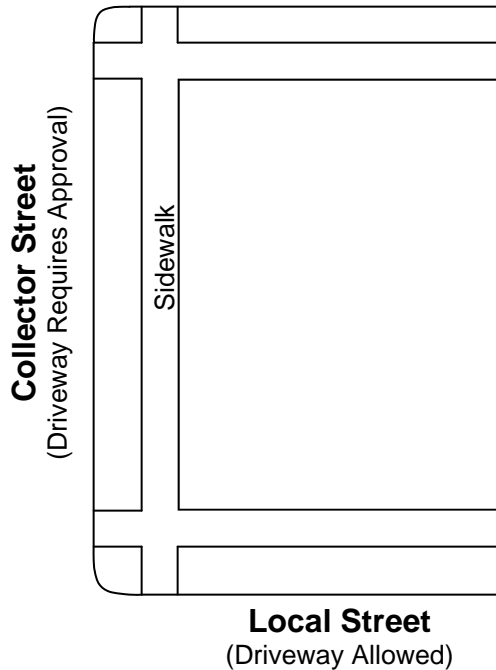
- ✓ Base shall be placed in 2 - 4" compacted lifts.
- ✓ Base shall be compacted to a distance of 1' past width of drive.
- ✓ Resurfacing of an existing asphalt driveway that exceeds maximum width limits shall be allowed, provided the driveway is not widened nor encroaching adjacent property.
- ✓ Any driveways that are removed and replaced must comply with the current requirements.
- ✓ To qualify for reimbursement on a curb cut or public sidewalk replacement, Public Works is required to approve prior to permit issuance.

BRICK PAVERS





Arterial Street
(No Driveway)



NO DIRT, SAND, STONE, OR OTHER MATERIAL SHALL BE DEPOSITED ON CITY STREETS, WALKS, OR PARKWAYS.

FINES UP TO \$750 DAILY

Codes: Sidewalk 90.019, Driveway 90.059D, Apron 90.062, Curb Cuts 90.063, Deposits 132.08, Penalty 10.99

Driveways must be a minimum of 1 foot from the property line.