



15440 South Central Avenue, Oak Forest, Illinois 60452-2195  
Ph: 708.444.4818 ▪ Fax 708.687.1179

## RESIDENTIAL DRIVEWAY, APRON & SIDEWALK GUIDE

### PERMIT PROCEDURE:

- Submit completed Building Permit Application
- Submit signed contract/proposal with detailed scope of work
- Complete Contractor Registration. All contractors must be registered with the City of Oak Forest prior to issuance of the permit.
- Submit copy of Plat of Survey indicating location and dimensions of driveway, apron & sidewalk.
- Submit Right of Way Release of Liability Form (if applicable)
- Submit Reimbursement for Public Sidewalk and Curb Cut Application (if applicable)

### REQUIREMENTS:

- Only one driveway permitted per lot in single family zoning districts where front lot width is less than 90'. A circular drive is permitted for lots with 90' or greater front lot width.
- Driveway area may not exceed 30% of any required front yard
- Driveway must be a minimum 1' from side lot line
- Residences served by one-car and two-car garages allowed a maximum 20' width driveway AT THE PUBLIC SIDEWALK and 26' at street. Residences served by a three-car garage allowed a maximum 30' width at property line and 36' at street.
- Garages located greater than 30' from front property line and circular drives allowed a maximum 10' at property lines and 16' at street
- No Driveway/Apron shall encroach upon any portion of parkway of adjacent property
- No Dirt, Sand, Stone, or other Construction Material shall be deposited on City Streets, Walks or Parkways. Fines to \$750 Daily.

### DRIVEWAY/APRON CONSTRUCTION REQUIREMENTS:

(See Residential Driveway Specification Supplement for an illustrated guide)

- Concrete Driveway
  - Minimum 4" stone aggregate base
  - Minimum 5" concrete or minimum 4" concrete with reinforcement
- Concrete Apron
  - Minimum 5" concrete – no wire mesh/rebar reinforcement allowed
- Asphalt Driveway/Apron
  - Minimum 8" stone aggregate base placed in 4" compacted lifts
  - Minimum 2½" asphalt surface course after compaction

- Brick Paver Driveway/Apron
  - Minimum 8" stone aggregate base placed in 4" compacted lifts
  - Minimum 1" bedding sand
  - Minimum 2 3/8<sup>th</sup> brick paving stone
  - Apron construction in other than plain concrete or plain asphalt is installed at owner's risk. Release of Liability form is required.

**SIDEWALK CONSTRUCTION REQUIREMENTS:**

- Private Sidewalk/Concrete
  - Minimum 4" stone aggregate base
  - Minimum 4" concrete
- Private Sidewalk/Brick Paver
  - Minimum 4" stone aggregate base
  - Minimum 1" bedding sand
  - Minimum 2 3/8<sup>th</sup> brick paving stone
- Public Sidewalk
  - Minimum 4" stone aggregate base
  - Minimum 5" concrete
  - Minimum 5' width
  - Placement shall be 1' from property line
  - Placement shall be separate from driveway and apron

**INSPECTIONS REQUIRED:**

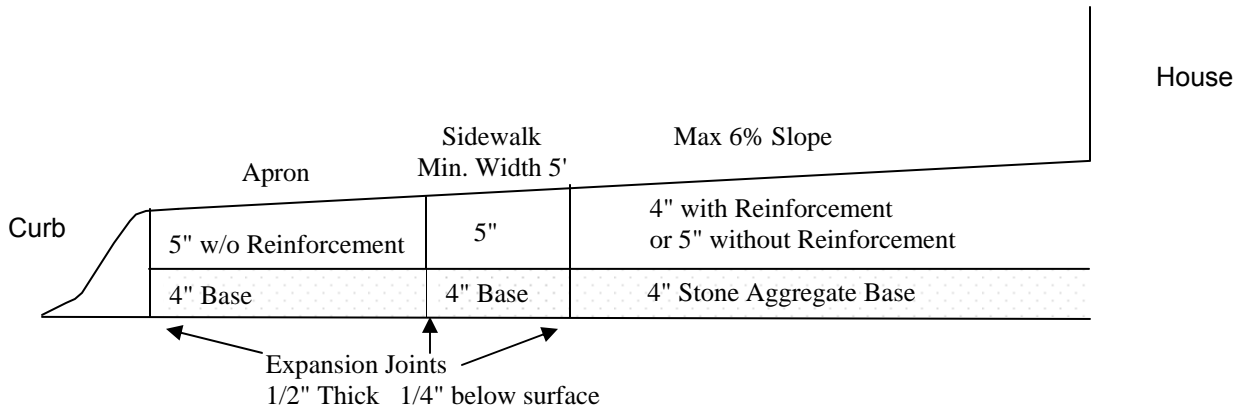
- Base Inspection
- Final Inspection

**FEES:**

- Permit: \$135.00
- Failed, missed and/or re-inspections: \$60.00

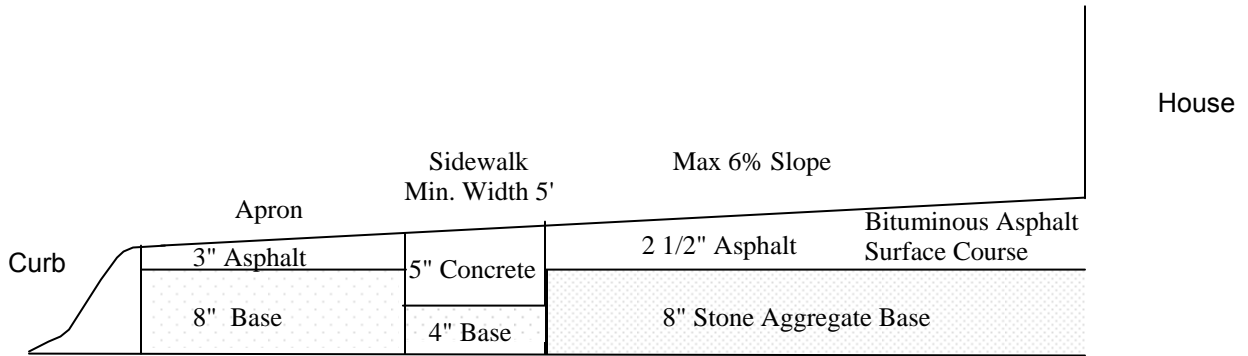
# RESIDENTIAL DRIVEWAY GUIDE

## CONCRETE



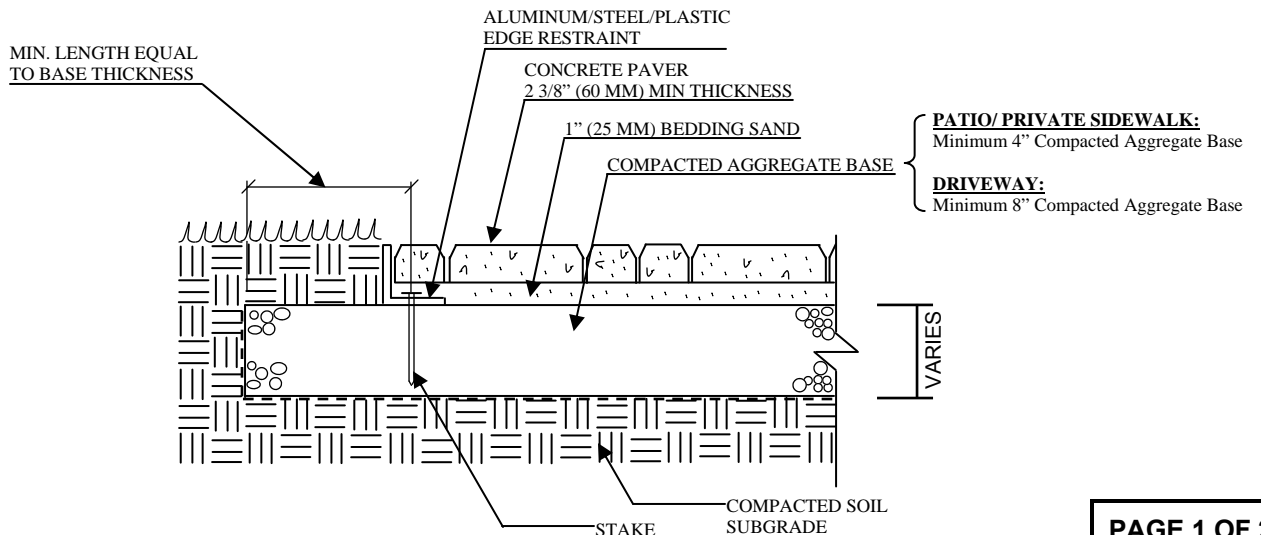
- ✓ No wire/ rebar reinforcement in apron or public sidewalk.
- ✓ To qualify for reimbursement on a curb cut or public sidewalk replacement, Public Works is required to approve prior to permit issuance.

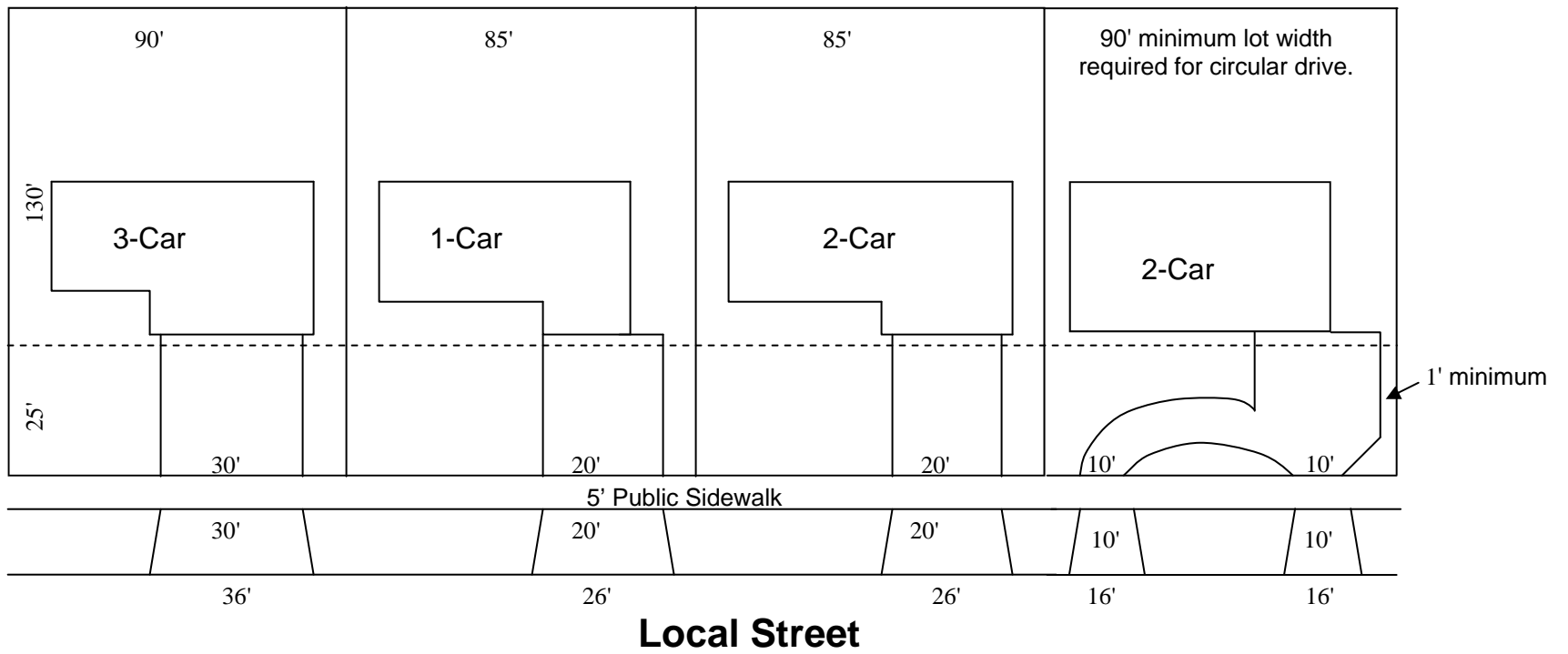
## ASPHALT



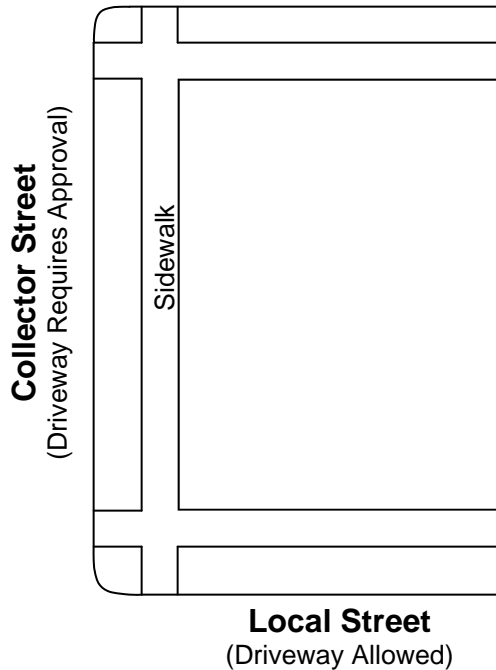
- ✓ Base shall be placed in 2 - 4" compacted lifts.
- ✓ Base shall be compacted to a distance of 1' past width of drive.
- ✓ Resurfacing of an existing asphalt driveway that exceeds maximum width limits shall be allowed, provided the driveway is not widened nor encroaching adjacent property.
- ✓ Any driveways that are removed and replaced must comply with the current requirements.
- ✓ To qualify for reimbursement on a curb cut or public sidewalk replacement, Public Works is required to approve prior to permit issuance.

## BRICK PAVERS





**Arterial Street**  
(No Driveway)



**NO DIRT, SAND, STONE, OR OTHER MATERIAL SHALL BE DEPOSITED ON CITY STREETS, WALKS, OR PARKWAYS.**

**FINES UP TO \$750 DAILY**

Codes: Sidewalk 90.019, Driveway 90.059D, Apron 90.062, Curb Cuts 90.063, Deposits 132.08, Penalty 10.99

**Driveways must be a minimum of 1 foot from the property line.**

# ZONING REQUIREMENTS

## Off-Street Parking Facilities 6-9-2

**Yard Requirements:** In residential districts, parking facilities shall comply with the following yard requirements:

**4.2.1.** Parking facilities shall not be located in any required front yard or corner side yard, except as follows:

For single-family detached dwellings, single-family attached dwellings and duplexes:

- At least one required parking space per dwelling unit shall be provided in an enclosed garage which is located behind the front and corner side yard line;
- The other required parking space may be located in the garage driveway; provided that all driveways must lead directly to at least one parking space that meets the front and corner side yard requirements, except as otherwise provided [in the code].

For single-family detached dwellings, an auxiliary, uncovered parking space may be located within the required front or corner side yard, subject to the following requirements:

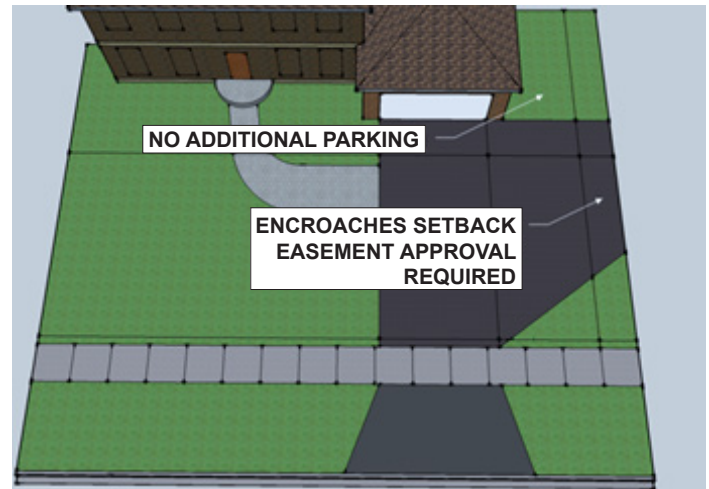
**4.2.1.1.** Said parking space shall be attached to a residential driveway that complies with the regulations as defined in Section 9-11-3;

**4.2.1.2.** Said parking space shall be parallel to the residential driveway it is attached to;

**4.2.1.3.** Said parking space shall not exceed the dimensions of a standard parking space as provided by the City;

**4.2.1.4.** Said parking space shall not be located within five (5) feet of any interior or corner side property line; and

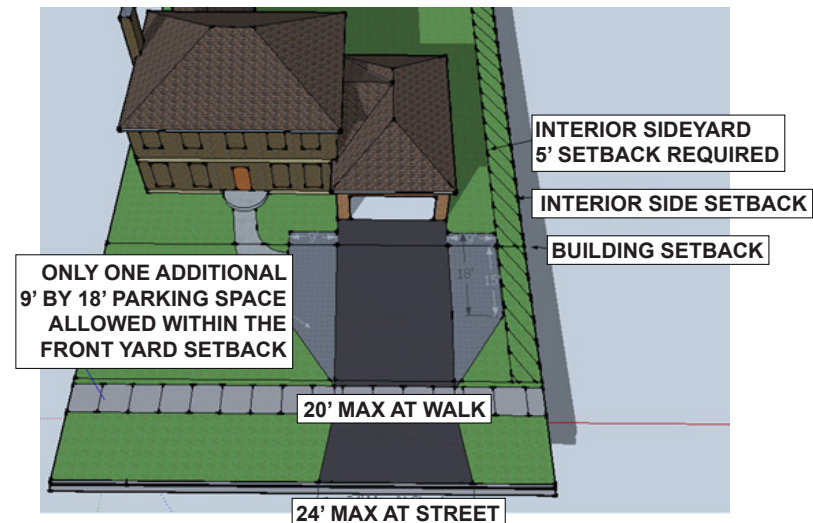
### Example of Non-Complying Driveway



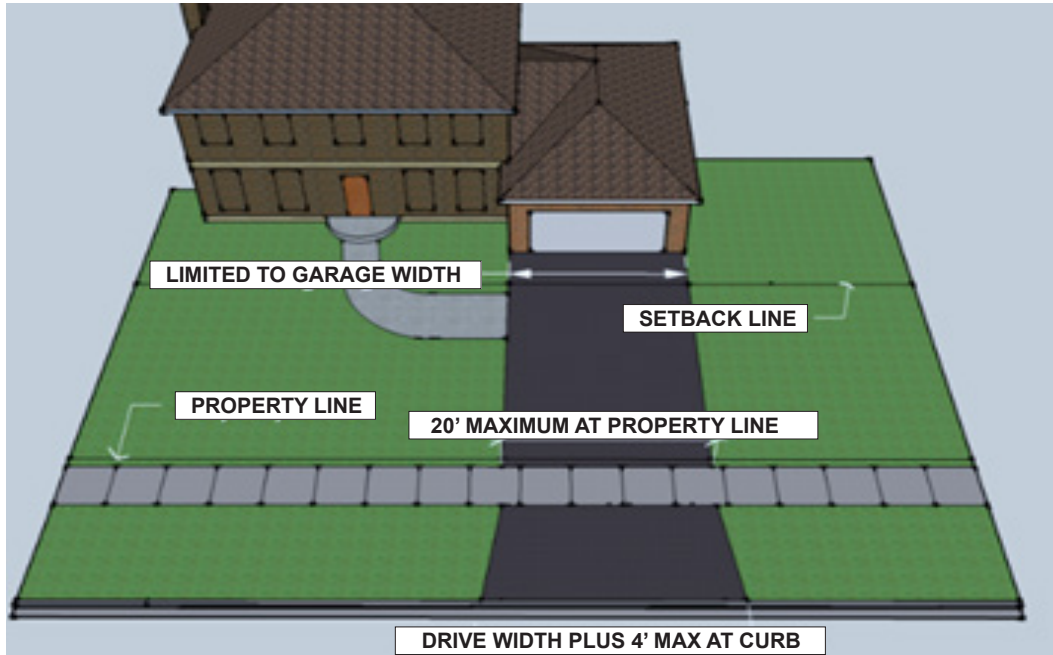
**4.2.1.5.** Said parking space shall comply with the increased driveway width regulations as provided in Section 6-9-2:12.1.1.

**Guest parking spaces**, as required per Section 6-9-3:1 of this Code, shall be permitted to be located within the required front or corner side yard. (Ord. 07-32, 2-20-2007; Ord. No. 15-187, § 1, 11-17-2015)

### Example of Guest Parking Location



## Examples of Approved Driveways



\*Parking is **prohibited** on hardscape decorative accent areas and/or walkways

**Residential Driveway Design:** Driveways shall be designed in accordance with the following regulations:

**12.1.** In the required front or corner side yard, driveways shall be permitted to gradually widen as a means of direct access to a parking space meeting the front and corner side yard requirements, provided that the driveway does not exceed the width of the unenclosed parking space or garage opening, except as otherwise provided in Section 6-9-2:4.2.1. (Ord. No. 15-187, § 1, 11-17-2015)

**12.1.1.** Increased driveway widths in accordance with this Subsection are permitted to maintain their width for fifteen (15) feet, as measured from the front or corner side yard line toward the property line. After fifteen (15) feet, the driveway must taper to no greater than the maximum driveway width permitted in this section.

### Residential Driveway Design

