



15440 South Central Avenue, Oak Forest, Illinois 60452-2195
Ph: 708.444.4818 ▪ Fax 708.687.1179

RESIDENTIAL DRIVEWAY, APRON & SIDEWALK GUIDE

PERMIT PROCEDURE:

- Submit completed Building Permit Application
- Submit signed contract/proposal with detailed scope of work
- Complete Contractor Registration. All contractors must be registered with the City of Oak Forest prior to issuance of the permit.
- Submit copy of Plat of Survey indicating location and dimensions of driveway, apron & sidewalk.
- Submit Right of Way Release of Liability Form (if applicable)
- Submit Reimbursement for Public Sidewalk and Curb Cut Application (if applicable)

REQUIREMENTS:

- Only one driveway permitted per lot in single family zoning districts where front lot width is less than 90'. A circular drive is permitted for lots with 90' or greater front lot width.
- Driveway area may not exceed 30% of any required front yard
- Driveway must be a minimum 1' from side lot line
- Residences served by one-car and two-car garages allowed a maximum 20' width driveway AT THE PUBLIC SIDEWALK and 26' at street. Residences served by a three-car garage allowed a maximum 30' width at property line and 36' at street.
- Garages located greater than 30' from front property line and circular drives allowed a maximum 10' at property lines and 16' at street
- No Driveway/Apron shall encroach upon any portion of parkway of adjacent property
- No Dirt, Sand, Stone, or other Construction Material shall be deposited on City Streets, Walks or Parkways. Fines to \$750 Daily.

DRIVEWAY/APRON CONSTRUCTION REQUIREMENTS:

(See Residential Driveway Specification Supplement for an illustrated guide)

- Concrete Driveway
 - Minimum 4" stone aggregate base
 - Minimum 5" concrete or minimum 4" concrete with reinforcement
- Concrete Apron
 - Minimum 5" concrete – no wire mesh/rebar reinforcement allowed
- Asphalt Driveway/Apron
 - Minimum 8" stone aggregate base placed in 4" compacted lifts
 - Minimum 2½" asphalt surface course after compaction

- Brick Paver Driveway/Apron
 - Minimum 8" stone aggregate base placed in 4" compacted lifts
 - Minimum 1" bedding sand
 - Minimum 2 3/8th brick paving stone
 - Apron construction in other than plain concrete or plain asphalt is installed at owner's risk. Release of Liability form is required.

SIDEWALK CONSTRUCTION REQUIREMENTS:

- Private Sidewalk/Concrete
 - Minimum 4" stone aggregate base
 - Minimum 4" concrete
- Private Sidewalk/Brick Paver
 - Minimum 4" stone aggregate base
 - Minimum 1" bedding sand
 - Minimum 2 3/8th brick paving stone
- Public Sidewalk
 - Minimum 4" stone aggregate base
 - Minimum 5" concrete
 - Minimum 5' width
 - Placement shall be 1' from property line
 - Placement shall be separate from driveway and apron

INSPECTIONS REQUIRED:

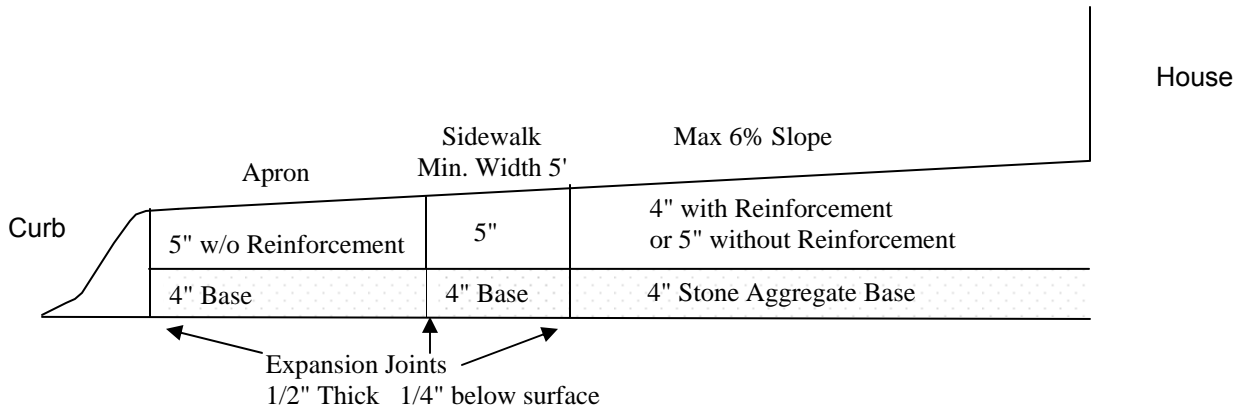
- Base Inspection
- Final Inspection

FEES:

- Permit: \$135.00
- Failed, missed and/or re-inspections: \$60.00

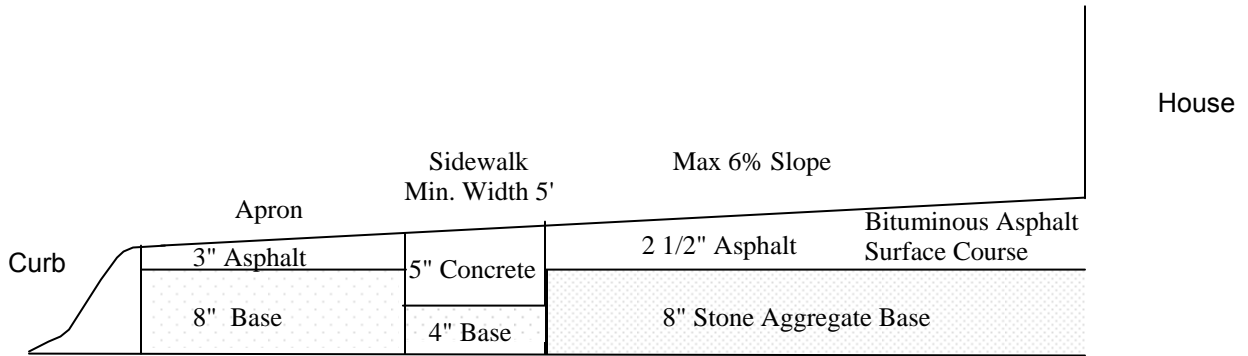
RESIDENTIAL DRIVEWAY GUIDE

CONCRETE



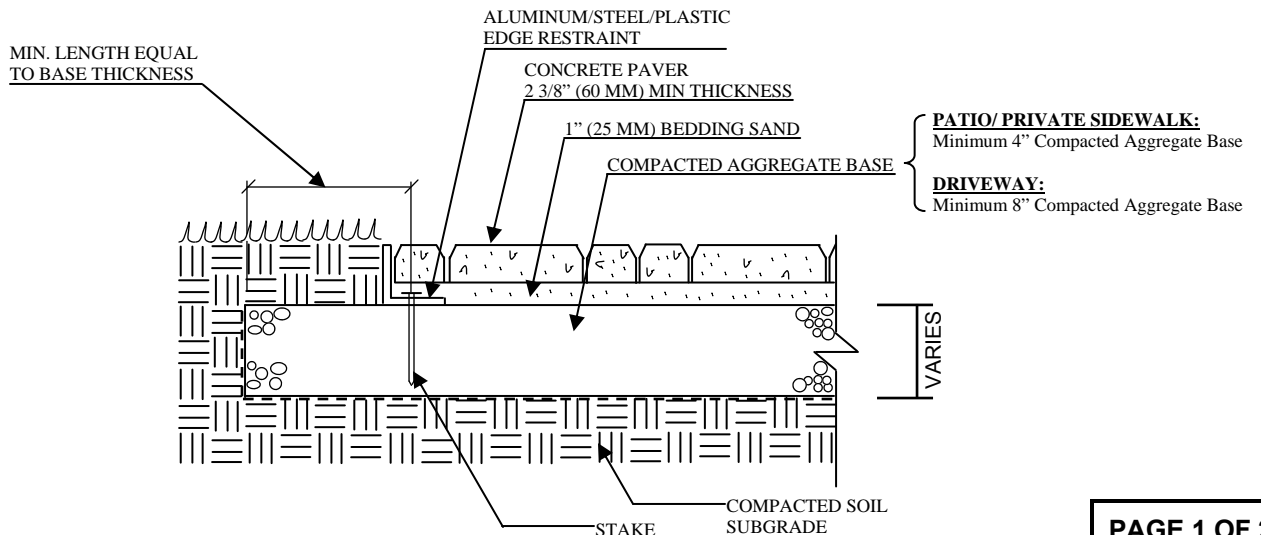
- ✓ **No wire/ rebar reinforcement in apron or public sidewalk.**
- ✓ **To qualify for reimbursement on a curb cut or public sidewalk replacement, Public Works is required to approve prior to permit issuance.**

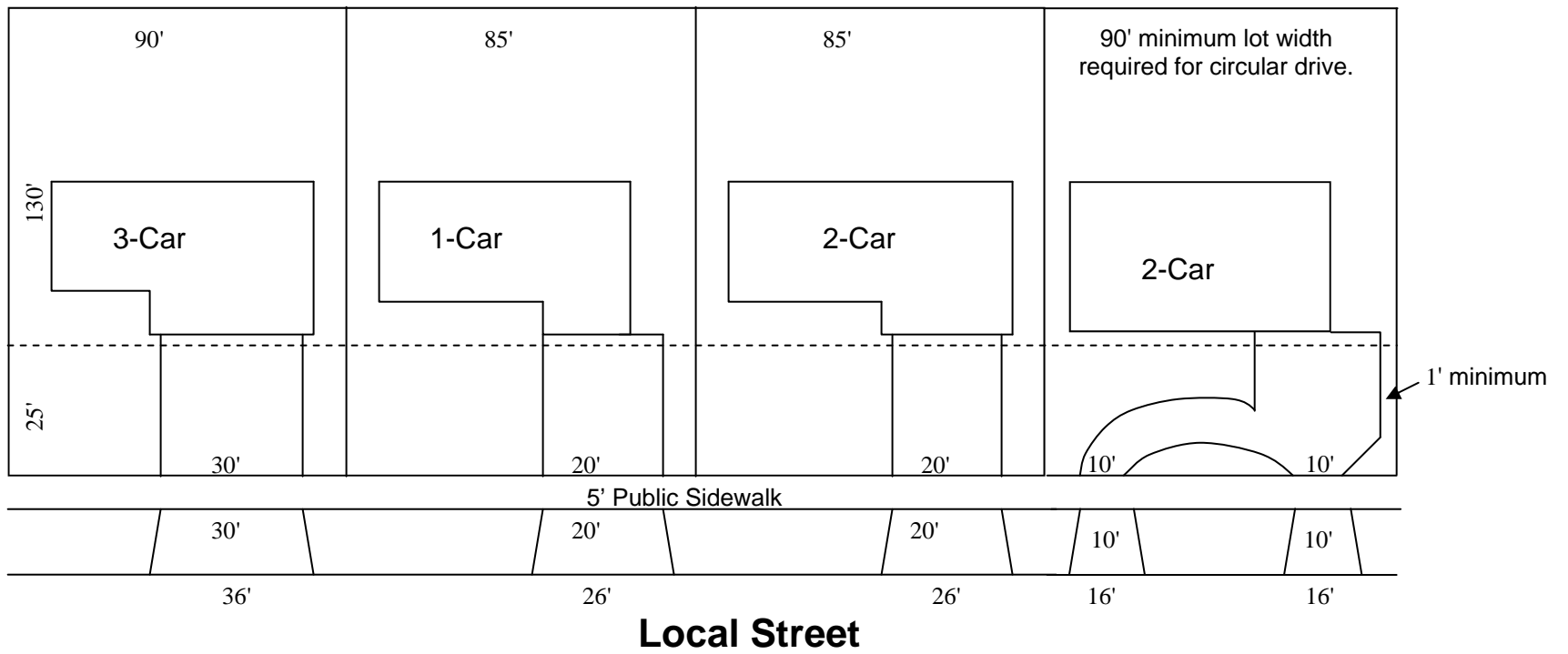
ASPHALT



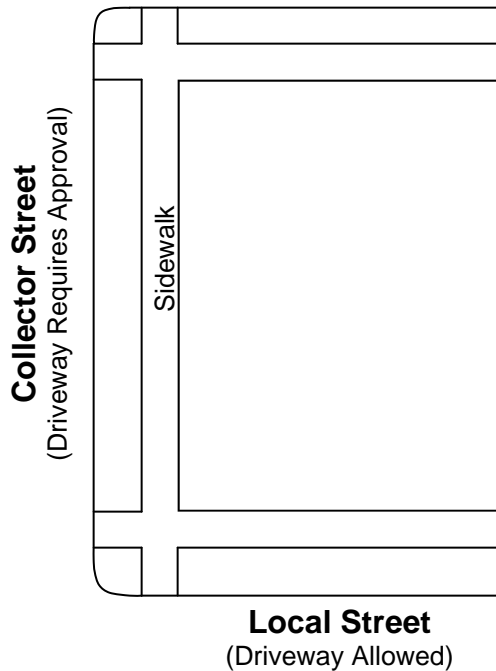
- ✓ **Base shall be placed in 2 - 4" compacted lifts.**
- ✓ **Base shall be compacted to a distance of 1' past width of drive.**
- ✓ **Resurfacing of an existing asphalt driveway that exceeds maximum width limits shall be allowed, provided the driveway is not widened nor encroaching adjacent property.**
- ✓ **Any driveways that are removed and replaced must comply with the current requirements.**
- ✓ **To qualify for reimbursement on a curb cut or public sidewalk replacement, Public Works is required to approve prior to permit issuance.**

BRICK PAVERS





Arterial Street
(No Driveway)



NO DIRT, SAND, STONE, OR OTHER MATERIAL SHALL BE DEPOSITED ON CITY STREETS, WALKS, OR PARKWAYS.

FINES UP TO \$750 DAILY

Codes: Sidewalk 90.019, Driveway 90.059D, Apron 90.062, Curb Cuts 90.063, Deposits 132.08, Penalty 10.99

Driveways must be a minimum of 1 foot from the property line.

ZONING REQUIREMENTS

Off-Street Parking Facilities 6-9-2

Yard Requirements: In residential districts, parking facilities shall comply with the following yard requirements:

4.2.1. Parking facilities shall not be located in any required front yard or corner side yard, except as follows:

For single-family detached dwellings, single-family attached dwellings and duplexes:

- At least one required parking space per dwelling unit shall be provided in an enclosed garage which is located behind the front and corner side yard line;
- The other required parking space may be located in the garage driveway; provided that all driveways must lead directly to at least one parking space that meets the front and corner side yard requirements, except as otherwise provided [in the code].

For single-family detached dwellings, an auxiliary, uncovered parking space may be located within the required front or corner side yard, subject to the following requirements:

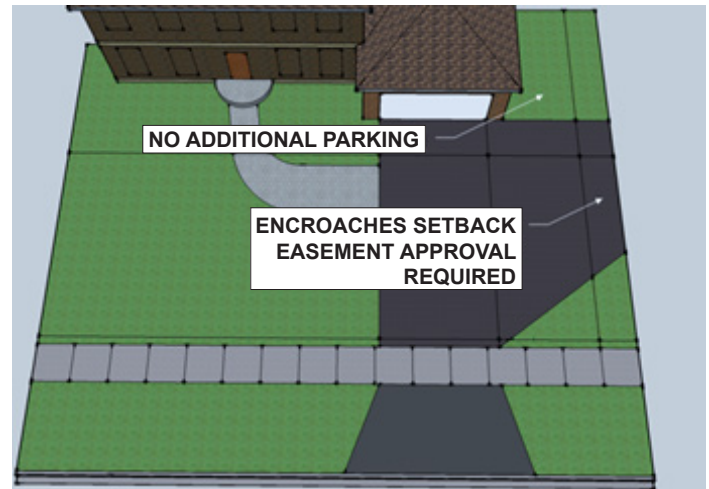
4.2.1.1. Said parking space shall be attached to a residential driveway that complies with the regulations as defined in Section 9-11-3;

4.2.1.2. Said parking space shall be parallel to the residential driveway it is attached to;

4.2.1.3. Said parking space shall not exceed the dimensions of a standard parking space as provided by the City;

4.2.1.4. Said parking space shall not be located within five (5) feet of any interior or corner side property line; and

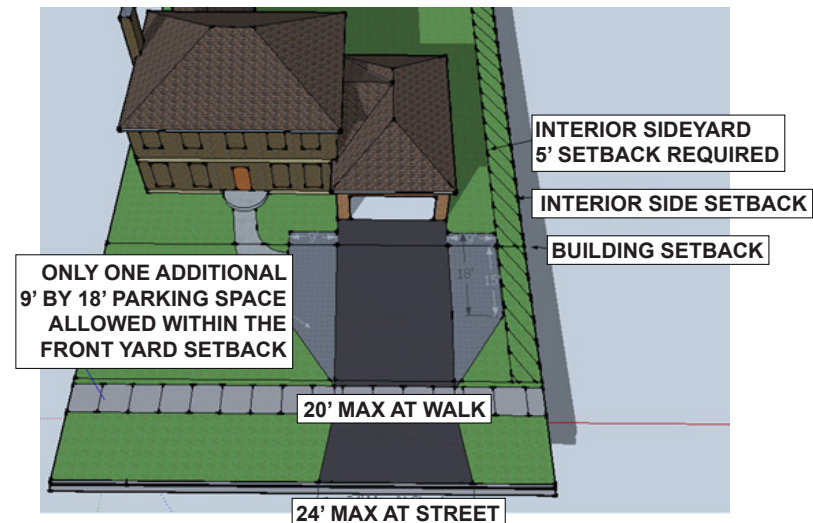
Example of Non-Complying Driveway



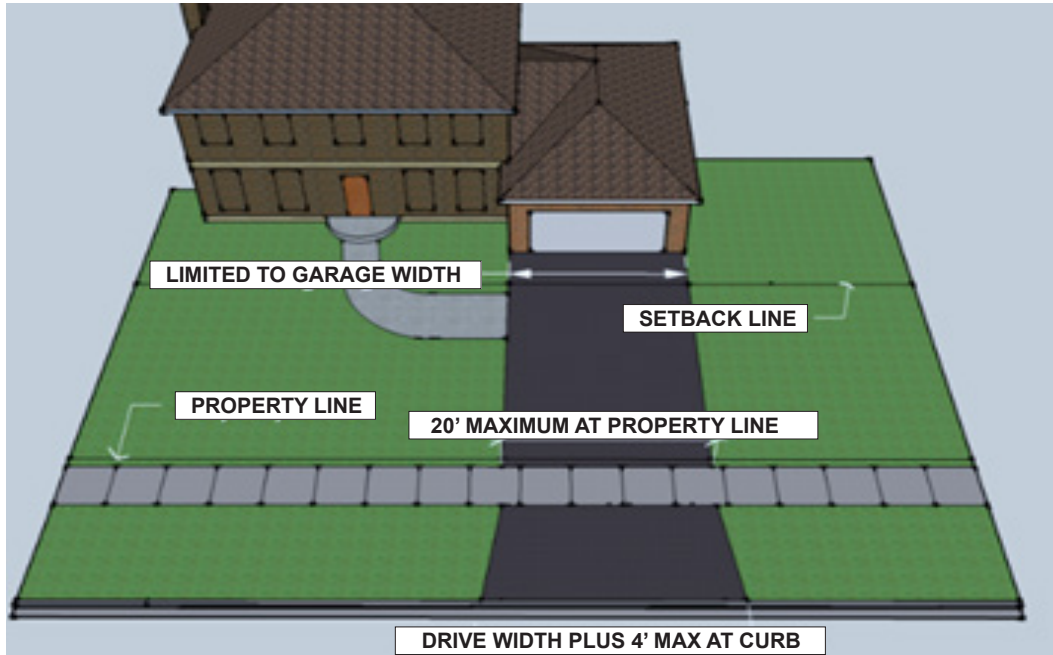
4.2.1.5. Said parking space shall comply with the increased driveway width regulations as provided in Section 6-9-2:12.1.1.

Guest parking spaces, as required per Section 6-9-3:1 of this Code, shall be permitted to be located within the required front or corner side yard. (Ord. 07-32, 2-20-2007; Ord. No. 15-187, § 1, 11-17-2015)

Example of Guest Parking Location



Examples of Approved Driveways



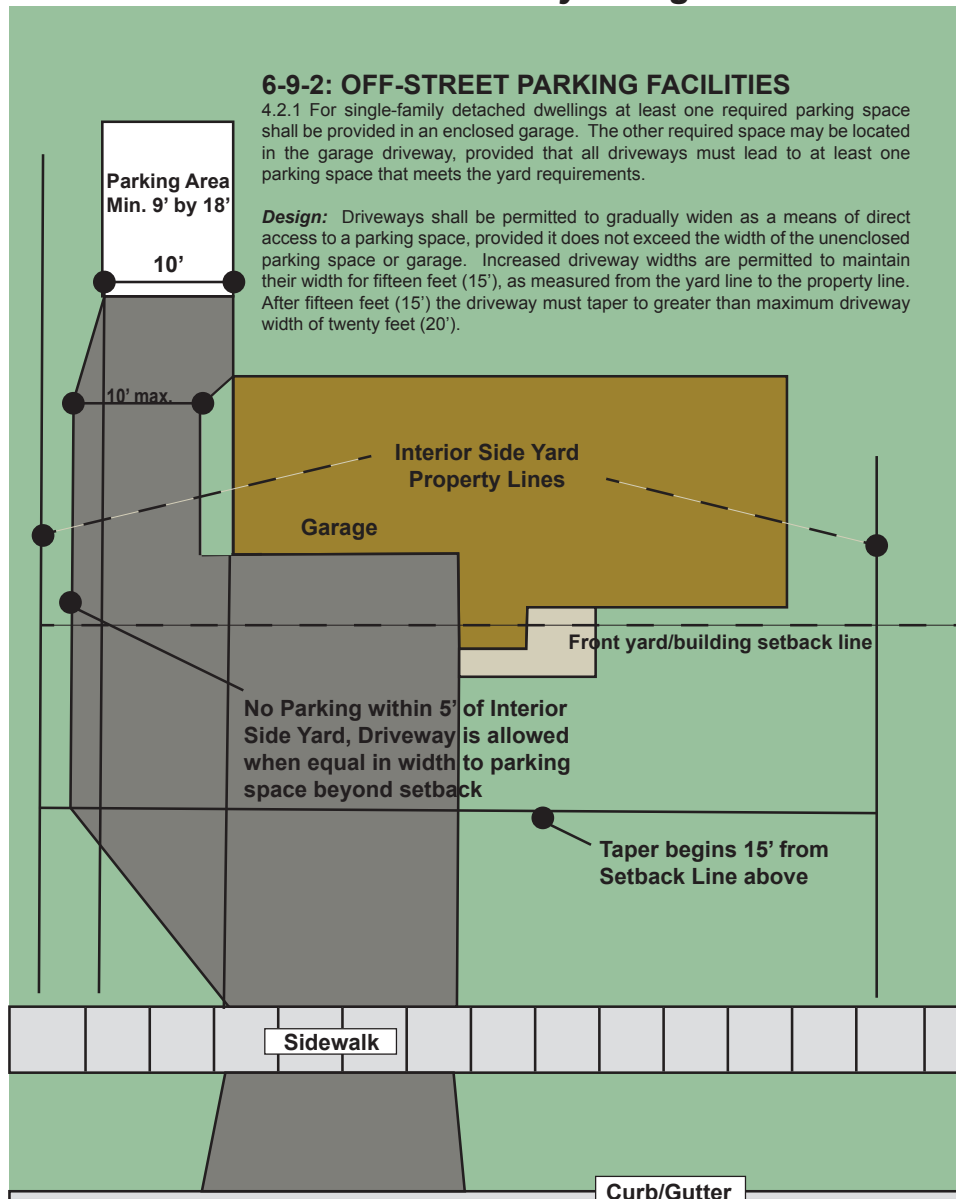
*Parking is **prohibited** on hardscape decorative accent areas and/or walkways

Residential Driveway Design: Driveways shall be designed in accordance with the following regulations:

12.1. In the required front or corner side yard, driveways shall be permitted to gradually widen as a means of direct access to a parking space meeting the front and corner side yard requirements, provided that the driveway does not exceed the width of the unenclosed parking space or garage opening, except as otherwise provided in Section 6-9-2:4.2.1. (Ord. No. 15-187, § 1, 11-17-2015)

12.1.1. Increased driveway widths in accordance with this Subsection are permitted to maintain their width for fifteen (15) feet, as measured from the front or corner side yard line toward the property line. After fifteen (15) feet, the driveway must taper to no greater than the maximum driveway width permitted in this section.

Residential Driveway Design





Express Building Permit Application

15440 SOUTH CENTRAL AVENUE, OAK FOREST, ILLINOIS 60452-2195

708.444.4818 ▪ FAX 708.687.1179 ▪ WWW.OAK-FOREST.ORG

APPLICATIONS AND SUPPORTING DOCUMENTATION MAY BE EMAILED TO:

mpeters@oak-forest.org OR clarson@oak-forest.org

PERMIT #:		EXPIRATION DATE:	
REQUIREMENTS: [1] PLAT OF SURVEY INDICATING: The proposed structure/ repair and the distance from each lot line and adjacent structures (not necessary for roof permit). [2] COPY OF SIGNED CONTRACT.			
OWNER'S NAME		PHONE	
APPLICANT'S NAME		PHONE	
JOBSITE ADDRESS		PIN# 28- _____ -0000	
APPLICANT'S EMAIL ADDRESS			
TYPE OF BUILDING: <input type="checkbox"/> Single Family <input type="checkbox"/> Multi Family <input type="checkbox"/> Townhouse <input type="checkbox"/> Commercial			
PROJECT DESCRIPTION:			CONSTRUCTION VALUATION \$ _____
CONTRACTOR INFORMATION: NOTE – All trades & subcontractors <u>must be registered by the City</u> prior to issuance of this permit.			
CONTRACTOR NAME		CONTACT PERSON	
ADDRESS		CITY	ZIP
PHONE	FAX	EMAIL	
DUMPSTER COMPANY		OFC PHONE	

I hereby certify that I am the owner or duly authorized agent of the owner for the purposes of this application. I further certify that I have read and examined this application and know the same to be true and correct. If any of the information provided on this application is incorrect, the permit or approval may be revoked. I also understand that all work shall be completed in compliance with the City of Oak Forest Codes and Ordinances and the statutes of the State of Illinois.

Applicant Signature

Date

Reviewed and approved by:

Building Official

Date

CONDITIONS: _____

REQUIRED FEES - OFFICE USE ONLY	
Building Permit Fee	_____
Inspection Fee	_____
Plan Review Fee	_____
Retainer	_____
TOTAL FEES:	_____
PERMIT PAYMENT: CK# _____ Cash / CC	
AMOUNT PD: _____ DATE PD: _____	
RETAINER AMOUNT (if applicable): _____	
DATE PD: _____ CK# _____ Cash	
REQUIRED INSPECTIONS	

CALL 708-444-4818 TO SCHEDULE INSPECTIONS 24 HOUR NOTICE REQUIRED FOR ALL INSPECTIONS \$60 FOR FAILED/ MISSED INSPECTIONS	

CALL JULIE BEFORE YOU DIG
DIAL: 811 or go to
www.illinois1call.com